

# McINTYRE FEDERAL BUILDING REDEVELOPMENT

MIXED USE  
(RETAIL/ OFFICE/ APARTMENTS)

PORTSMOUTH, NH



OWNER

THE KANE COMPANY  
CITY OF PORTSMOUTH

c/o SoBow Square LLC  
210 Commerce Way  
Portsmouth, NH 03801

Contact: Kimery Poldrack  
Phone: 603.559.9646

CONSTRUCTION MANAGER

TBD

STRUCTURAL ENGINEER

JAL Architecture and Engineering P.C.  
1359 Hooksett Road, Suite 1  
Hooksett, NH 03106

INTERIOR DESIGNER

TBD

FOOD SERVICE

TBD

MECHANICAL

TBD

ELECTRICAL

TBD

PLUMBING

TBD

FIRE PROTECTION

TBD

PLANNER

PRINCIPLE GROUP  
8 Burney Street  
Boston, MA 02120  
Contact: Russell Preston/ Ariane Rutt

CIVIL ENGINEER

Tighe & Bond  
177 Corporate Drive  
Portsmouth, NH 03801  
Contact: TBD  
Phone: 603.433.8818

LANDSCAPE ARCHITECT

TBD

NATIONAL PARK SERVICE - OBTAINING PROPERTY FOR HISTORIC MONUMENT PURPOSES  
SHEET INDEX

SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME
SECTION II - PARTS 8 & 9 PRESERVATION AND USE PLANS			
CS-1	COVER SHEET	A307	EXTERIOR PERSPECTIVES
CS-2	LEGENDS & SCHEDULES	A308	EXTERIOR PERSPECTIVES
D100	BASEMENT FLOOR DEMOLITION PLAN	A309	EXTERIOR PERSPECTIVES
D101	FIRST FLOOR DEMOLITION PLAN	A310	NOT USED
D102	SECOND FLOOR DEMOLITION PLAN	A311	EXTERIOR PERSPECTIVES
D103	THIRD FLOOR DEMOLITION PLAN	A312	EXTERIOR PERSPECTIVES
D104	FOURTH FLOOR DEMOLITION PLAN	A401	NOT USED
D105	FIFTH FLOOR DEMOLITION PLAN	A402	NOT USED
D106	ROOF DEMOLITION PLAN		
D300	EXTERIOR ELEVATION DEMOLITION		
D301	EXTERIOR ELEVATION DEMOLITION		
A100	BASEMENT AND GARAGE FLOOR PLAN		
A101	OVERALL FIRST FLOOR PLAN		
A102	OVERALL SECOND FLOOR PLAN		
A103	OVERALL THRID FLOOR PLAN		
A104	OVERALL FOURTH FLOOR PLAN		
A105	OVERALL ROOF PLAN (NEW) 4TH FLOOR MCINTYRE		
A106	McINTYRE ROOF PLAN		
A107	NOT USED		
A250	FIRST FLOOR REFLECTED CEILING PLAN - EXISTING BUILDING		
A251	NOT USED		
A300	NOT USED		
A301	NOT USED		
A302	NOT USED		
A303	EXTERIOR ELEVATIONS		
A304	EXTERIOR ELEVATIONS		
A305	EXTERIOR ELEVATIONS		
A306	EXTERIOR PERSPECTIVES		



McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE



10/27/22

CS-1

UNIT MATRIX	
Name	Count
ONE BEDROOM	17
ONE BEDROOM w/ DEN	9
STUDIO	6
TWO BEDROOM	7
TWO BEDROOM w/ DEN	6
<b>TOTAL</b>	<b>45</b>

EXISTING BUILDING	
LEVEL	AREA
PARKING	11,341 SF
LEVEL 1 (A)	31,568 SF
LEVEL 2	13,250 SF
LEVEL 3	13,250 SF
LEVEL 4	13,250 SF
<b>TOTAL</b>	<b>82,659 SF</b>

NEW BUILDING	
LEVEL	AREA
PARKING	33,061 SF
LEVEL 1 (B)	6,721 SF
LEVEL 1 (A)	8,668 SF
LEVEL 2	18,637 SF
LEVEL 3	17,514 SF
LEVEL 4	7,206 SF
<b>TOTAL</b>	<b>91,807 SF</b>

SYMBOLS LEGEND			
<p>VIEW NAME SCALE</p>	TITLE	<p>ROOM NAME ROOM DESCRIPTION ROOM NUMBER</p>	ROOM TAG
<p>DETAIL NUMBER BUILDING SECTION SHEET NUMBER</p>	BUILDING SECTION	<p>ROOM NAME ROOM DESCRIPTION UNIT PLAN DETAIL AND SHEET ROOM NUMBER</p>	UNIT ROOM TAG
<p>DETAIL NUMBER WALL SECTION SHEET NUMBER</p>	WALL SECTION	<p>PARTITION TYPE TAG</p>	PARTITION TYPE TAG
<p>DETAIL NUMBER DETAIL SHEET NUMBER</p>	DETAIL	WINDOW DOOR	WINDOW/DOOR TAG
<p>EXTERIOR ELEVATION</p>	EXTERIOR ELEVATION	<p>CEILING DESCRIPTION CEILING HIEGHT</p>	CEILING TAG
<p>INTERIOR ELEVATION</p>	INTERIOR ELEVATION	FIRST FLOOR FACE OF STUD CENTERLINE	MISC. SYMBOLS

MATERIAL LEGEND	
	DISTURBED EARTH
	CONCRETE
	SAND/GROUT
	GRAVEL
	COMPACTED FILL
	STONE
	WOOD FINISH
	WOOD DIMENSIONAL LUMBER
	WOOD BLOCKING/SHIM
	PLYWOOD
	INSULATION RIGID
	INSULATION BLOWN IN
	INSULATION BATT
	MASONRY BRICK
	MASONRY BLOCK
	EIFS
	STEEL

**ABBREVIATIONS**

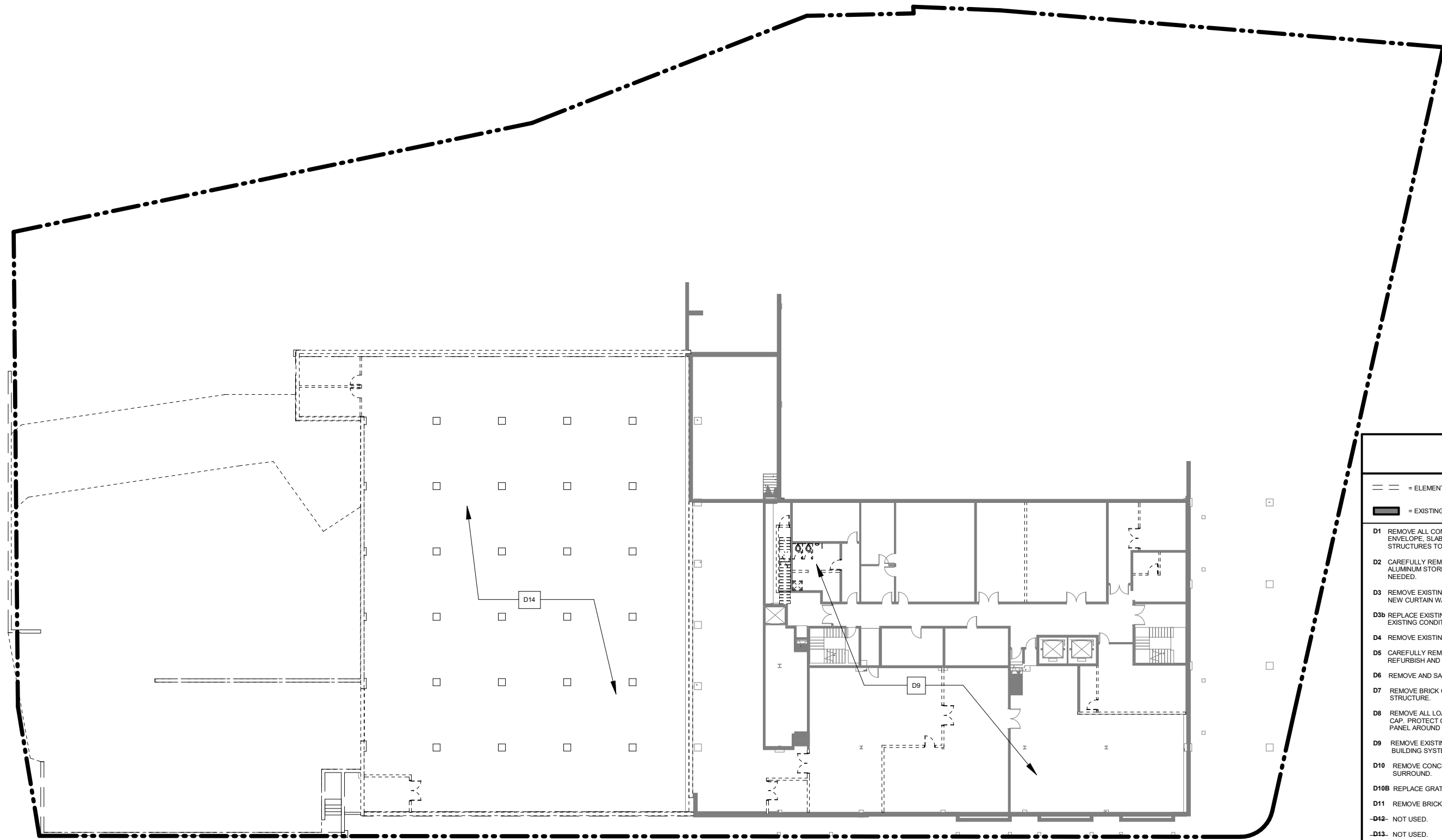
A.B. ANCHOR BOLT	CPT CARPET	F.E. FIRE EXTINGUISHER	INFO INFORMATION	P.E.B. PRE-ENGINEERED BUILDING	ST STREET
ACT ACOUSTICAL CEILING TILE	C.T. CERAMIC TILE	FEC FIRE EXT. CABINET	INSUL INSULATION	PLAM PLASTIC LAMINATE	STA STATION
AFF ABOVE FINISH FLOOR	CTR CENTER	FIN FIRE HOSE CABINET	INT INTERIOR	PLBGM PLUMBING	STC SOUND TRANSMISSION CLASS
AFG ABOVE FINISH GRADE	C.W. COLD WATER	FLR FINISH	JAN JANITOR	PSF POUNDS PER SQUARE FOOT	STD STANDARD
AL ASSISTED LIVING	DBL DOUBLE	FLR FLOOR	JAN JANITOR	PSI POUNDS PER SQUARE INCH	STL STEEL
ALUM ALUMINUM	DEPT DEPARTMENT	F.C. FACE OF CONCRETE	LAB LABORATORY	REQ'D REQUIRED	STOR STORAGE
ALT ALTERNATE	D.F. DEPARTMENT	F.M. FACE OF MASONRY	LAV LAVATORY	RES RESILIENT	STRUC. STRUCTURAL
APPROX APPROXIMATE	D.F. DRINKING FOUNTAIN	F.S. FACE OF STUD	LAV LAVATORY	REV REVISION	T.O.C. TOP OF CURB
ASPH ASPHALT	DIA DIAMETER	FP FIREPROOF	LB(S) POUND(S)	R.F. RESILIENT FLOORING	TEL TELEPHONE
AZ ALZHEIMER'S	DIM DIMENSION	FR FRAME	LG(MF) LIGHT GAUGE METAL FRAMING	R.M. ROOM	THK THICK (THICKNESS)
	DIV DIVISION	FT FOOT OR FEET	MACH MACHINE	R.O. ROUGH OPENING	T.O.B. TOP OF BEAM
BLDG BUILDING	DN DOWN	FTG FOOTING	MAT MATERIAL	R.W.L. RAIN WATER LEADER	T.O.T. TOP OF TRUSS
B.M. BENCHMARK	D.O. DOOR OPENING		MAX MAXIMUM		TRANS TRANSFORMER
BOT BOTTOM	DWG DRAWING	GA GAUGE	MECH MECHANICAL		T.V. TELEVISION
BRG BEARING	DS DOWNSPOUT	GALV GALVANIZED	MTL METAL		T.O.W. TOP OF WALL
BS BOTH SIDES	E ELECTRICAL FLOOR OUTLET	G.B. GRAB BAR	MFR MANUFACTURER		TYP TYPICAL
	E.J. EXPANSION JOINT	GWB GYPSUM WALL BOARD	MIN MINIMUM		
CAB CABINET	ELEC ELECTRICAL		MISC MISCELLANEOUS	S.C. SCHEDULE	UL UNDERWRITER'S LABORATORY
C.B. CATCH BASIN	ELEV ELEVATION	H.B. HOSE BIB	M.L. MATCH LINE	SCHED SCHEDULE	UNO UNLESS NOTED OTHERWISE
C.J. CONTROL JOINT	EMER EMERGENCY	HDWD HARDWOOD	M.O. MASONRY OPENING	SECT SECTION	
CLG CEILING	EQ EQUAL	HDWR HARDWARE		SECT SECTION	
CLO CLOSET	EXIST EXISTING	H.I. HEARING IMPAIRED	NIC NOT IN CONTRACT	SHWR SHOWER	VCT VINYL COMPOSITION TILE
CLR CLEAR(ANCE)	EXT EXTERIOR	HT HEIGHT	NTS NOT TO SCALE	SHT SHEET	VERT VERTICAL
CMU CONCRETE MASONRY UNIT		H.M. HOLLOW METAL	O.C. ON CENTER	SIM SIMILAR	VEST VESTIBULE
COL COLUMN		HORIZ HORIZONTAL	O.D. OUTSIDE DIAMETER	SPEC SPECIFICATION	
C.O. CLEAN OUT	F.A. FIRE ALARM	H.W. HOT WATER	OPP OPPOSITE	SQ SQUARE	
C.P. CONTROL POINT	F.D. FLOOR DRAIN	HVAC HEATING, VENTING & A.C.		SF SQUARE FOOT	
	FDN FOUNDATION	I.D. INSIDE DIAMETER (DIM)		S.S. STAINLESS STEEL	



**McINTYRE FEDERAL BUILDING REDEVELOPMENT**



10/27/22 CS-2



DEMOLITION KEY	
	= ELEMENTS TO BE DEMOLISHED
	= EXISTING TO REMAIN
D1	REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS. SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
D2	CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
D3	REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
D3b	REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
D4	REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
D5	CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
D6	REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
D7	REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
D8	REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
D9	REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
D10	REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
D10B	REPLACE GRATE AT LIGHTWELL.
D11	REMOVE BRICK SITE WALL.
-D12-	NOT USED.
-D13-	NOT USED.
D14	REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
D15	REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
D16	REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
D17	PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PILASTER VAULTED CEILING.
D18	REFURBISH EXISTING RESTROOMS.

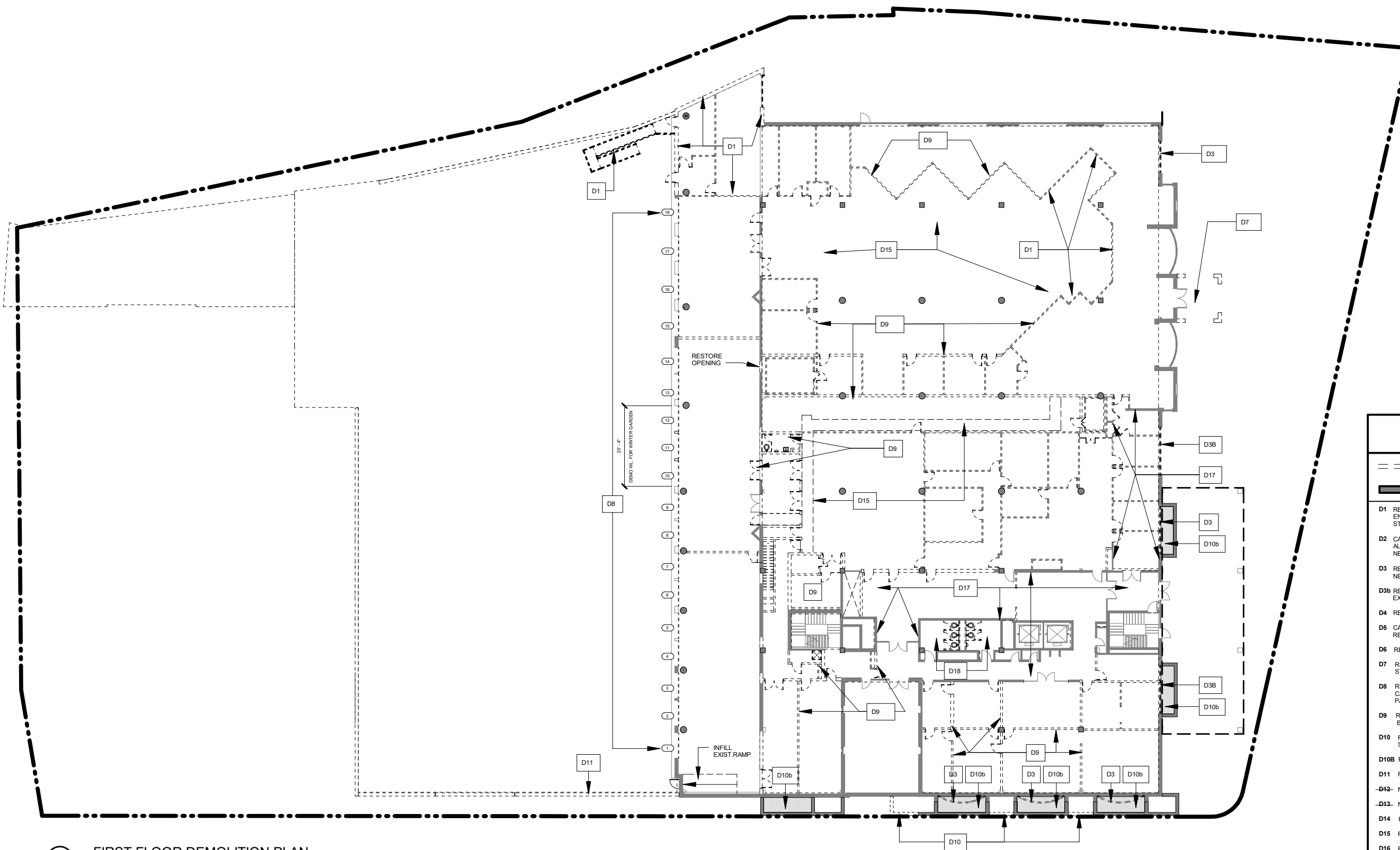
1 BASEMENT FLOOR DEMOTITION PLAN

SCALE: 1/32" = 1'-0"

0' - 0 1/32"

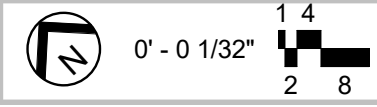


# McINTYRE FEDERAL BUILDING REDEVELOPMENT



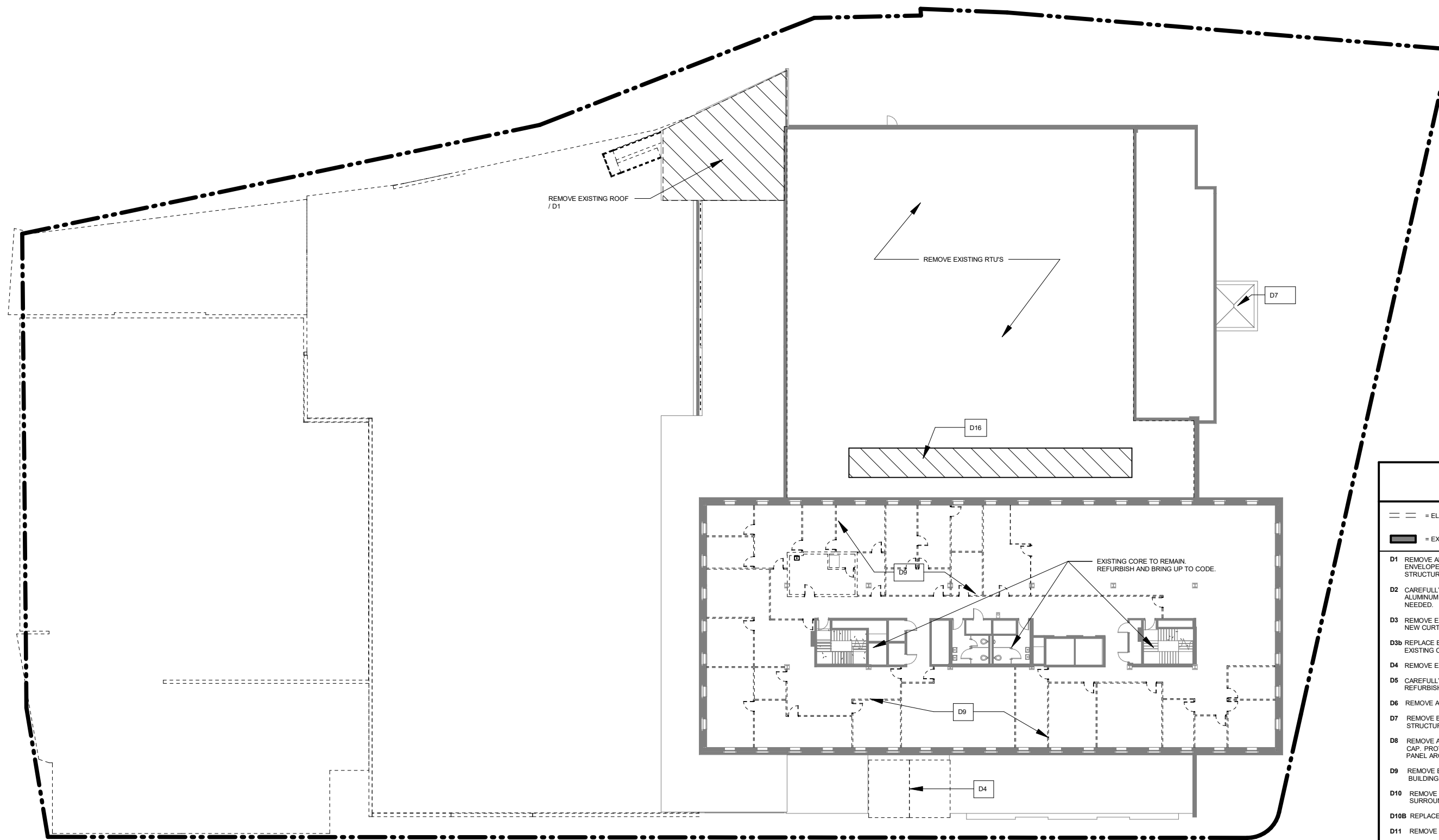
1 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/32" = 1'-0"

DEMOLITION KEY	
	= ELEMENTS TO BE DEMOLISHED
	= EXISTING TO REMAIN
D1	REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
D2	CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
D3	REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
D3b	REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
D4	REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
D5	CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
D6	REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
D7	REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
D8	REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
D9	REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
D10	REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
D10b	REPLACE GRATE AT LIGHTWELL.
D11	REMOVE BRICK SITE WALL.
D12	NOT USED.
D13	NOT USED.
D14	REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
D15	REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
D16	REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
D17	PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PLASTER VAULTED CEILING.
D18	REFURBISH EXISTING RESTROOMS.



# McINTYRE FEDERAL BUILDING REDEVELOPMENT

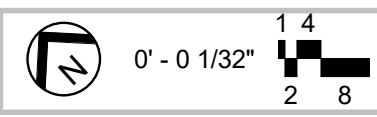




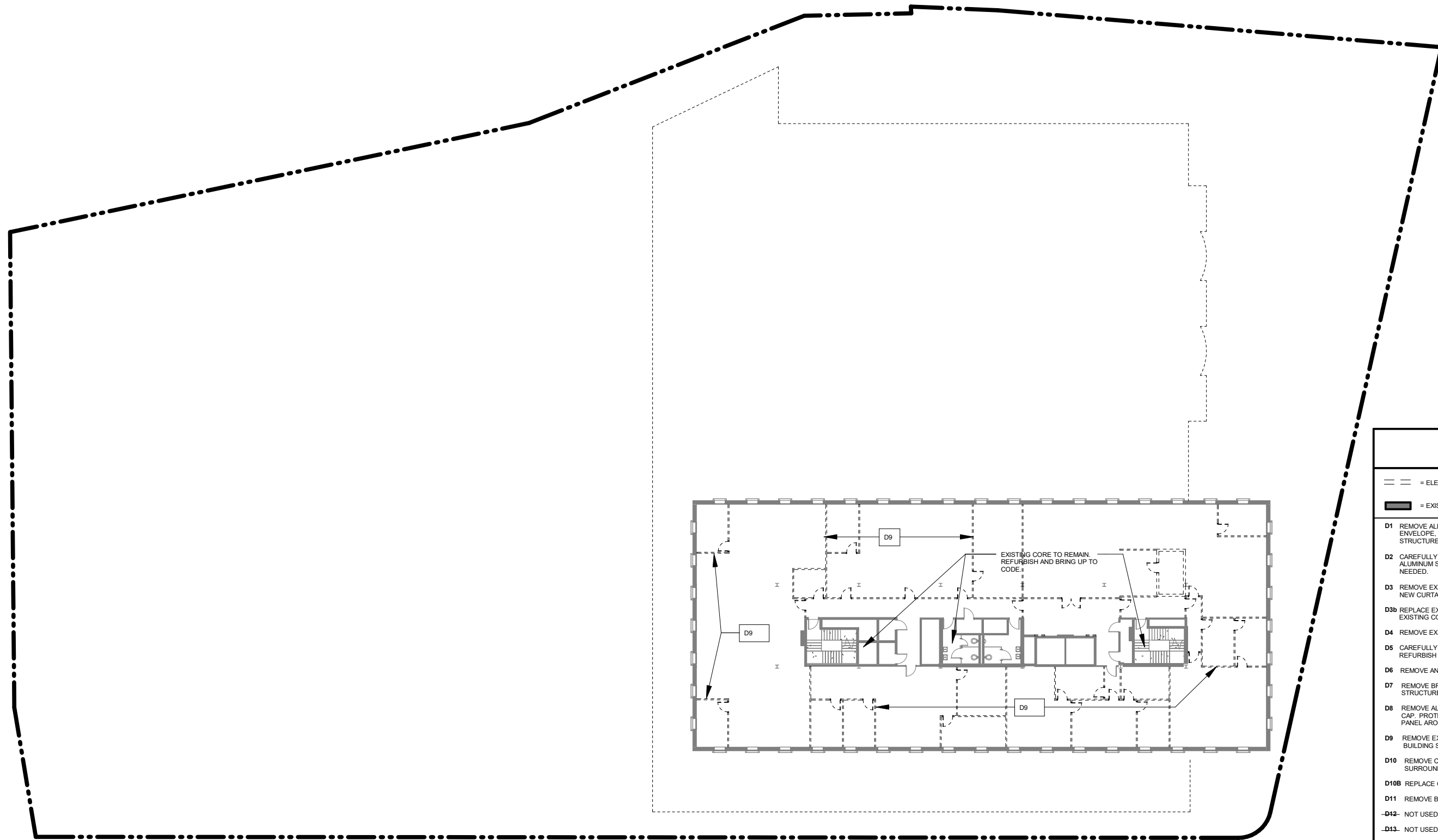
DEMOLITION KEY	
	= ELEMENTS TO BE DEMOLISHED
	= EXISTING TO REMAIN
D1	REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
D2	CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
D3	REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
D3b	REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
D4	REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
D5	CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
D6	REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
D7	REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
D8	REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
D9	REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
D10	REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
D10b	REPLACE GRATE AT LIGHTWELL.
D11	REMOVE BRICK SITE WALL.
-D12-	NOT USED.
-D13-	NOT USED.
D14	REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
D15	REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
D16	REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
D17	PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PILASTER VAULTED CEILING.
D18	REFURBISH EXISTING RESTROOMS.

1 SECOND FLOOR DEMOLITION PLAN

SCALE: 1/32" = 1'-0"



McINTYRE FEDERAL BUILDING REDEVELOPMENT



### DEMOLITION KEY

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- = EXISTING TO REMAIN

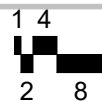
- D1** REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS. SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
- D2** CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
- D3** REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
- D3b** REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
- D4** REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
- D5** CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
- D6** REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
- D7** REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
- D8** REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
- D9** REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
- D10** REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
- D10B** REPLACE GRATE AT LIGHTWELL.
- D11** REMOVE BRICK SITE WALL.
- D12-** NOT USED.
- D13-** NOT USED.
- D14** REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
- D15** REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
- D16** REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
- D17** PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PLASTER VAULTED CEILING.
- D18** REFURBISH EXISTING RESTROOMS.

### 1 THIRD FLOOR DEMOLITION PLAN

SCALE: 1/32" = 1'-0"



0' - 0 1/32"



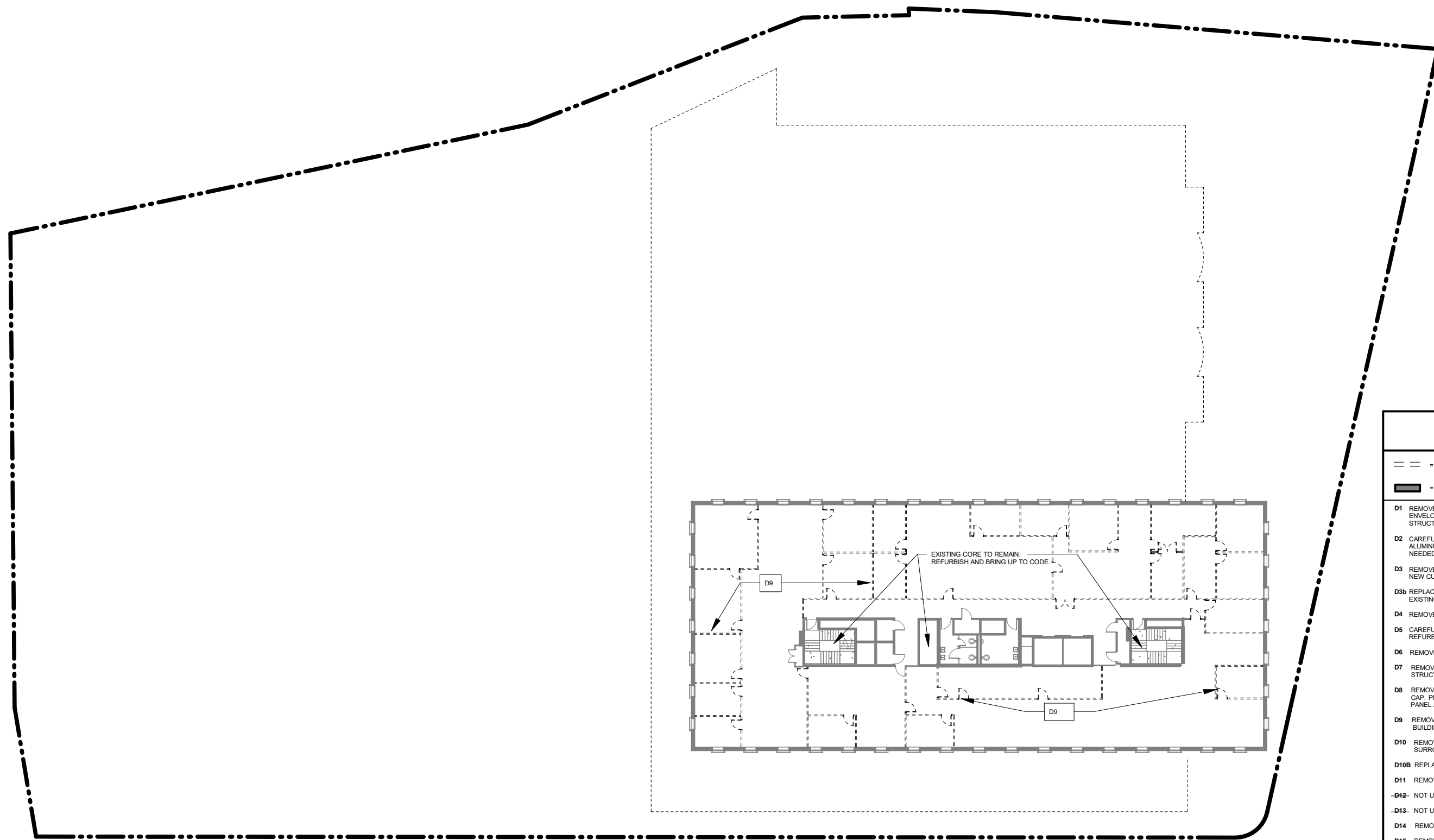
## McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE



10/26/22

D103



### DEMOLITION KEY

- = ELEMENTS TO BE DEMOLISHED
- = EXISTING TO REMAIN

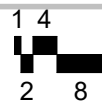
- D1** REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
- D2** CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
- D3** REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
- D3b** REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
- D4** REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
- D5** CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
- D6** REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
- D7** REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
- D8** REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
- D9** REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
- D10** REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
- D10B** REPLACE GRATE AT LIGHTWELL.
- D11** REMOVE BRICK SITE WALL.
- D12** NOT USED.
- D13** NOT USED.
- D14** REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
- D15** REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
- D16** REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
- D17** PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PLASTER VAULTED CEILING.
- D18** REFURBISH EXISTING RESTROOMS.

### 1 FOURTH FLOOR DEMOLITION PLAN

SCALE: 1/32" = 1'-0"



0' - 0 1/32"



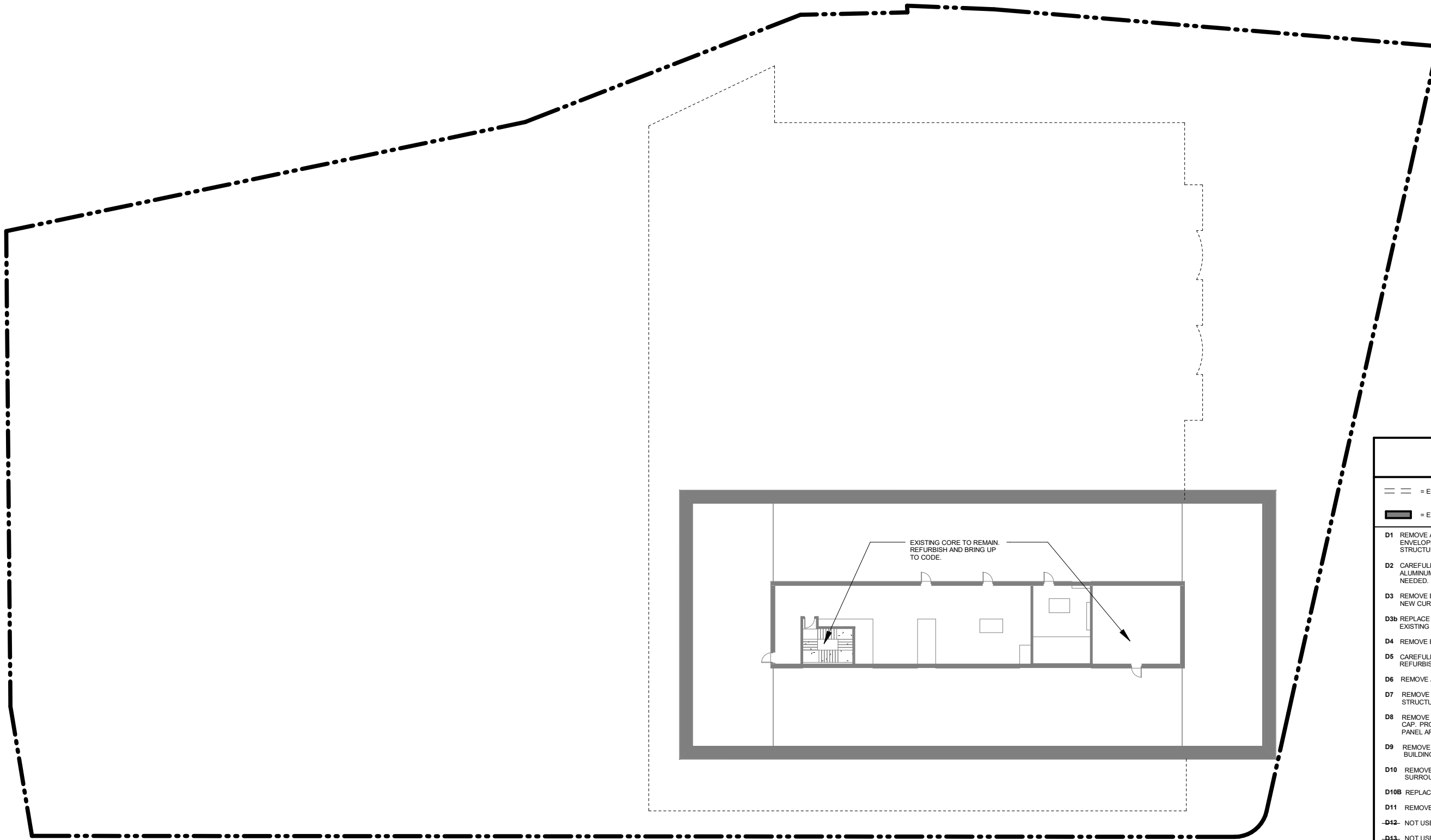
## McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE



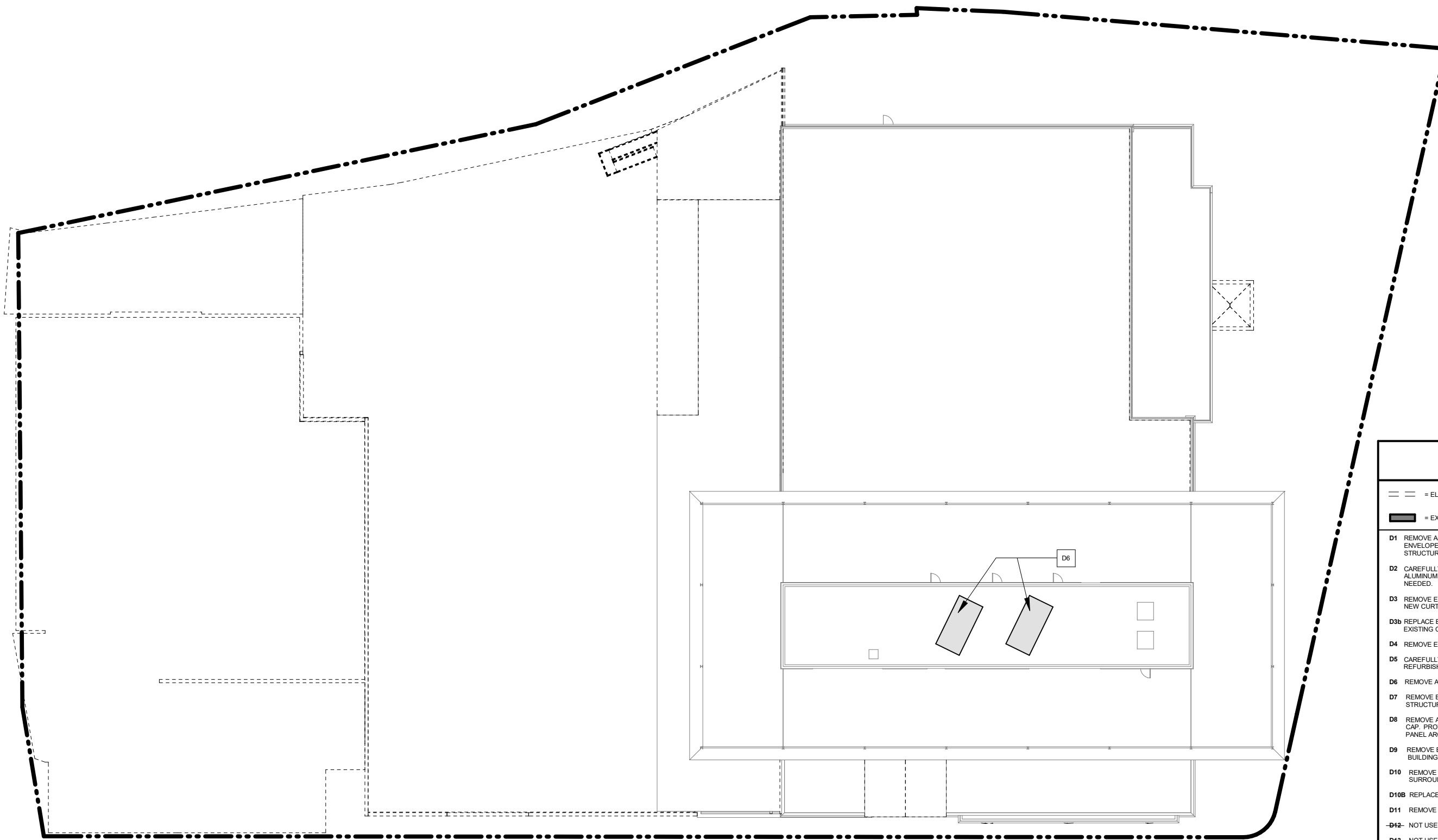
10/26/22

D104



DEMOLITION KEY	
	= ELEMENTS TO BE DEMOLISHED
	= EXISTING TO REMAIN
D1	REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
D2	CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
D3	REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
D3b	REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
D4	REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
D5	CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS, REFURBISH AND LEAVE EXPOSED.
D6	REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
D7	REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
D8	REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
D9	REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
D10	REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
D10B	REPLACE GRATE AT LIGHTWELL.
D11	REMOVE BRICK SITE WALL.
-D12-	NOT USED.
-D13-	NOT USED.
D14	REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
D15	REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
D16	REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
D17	PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PILASTER VAULTED CEILING.
D18	REFURBISH EXISTING RESTROOMS.

① FIFTH FLOOR DEMOLITION PLAN  
SCALE: 1/32" = 1'-0"



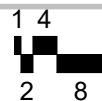
DEMOLITION KEY	
	= ELEMENTS TO BE DEMOLISHED
	= EXISTING TO REMAIN
D1	REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
D2	CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
D3	REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
D3b	REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
D4	REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
D5	CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS, REFURBISH AND LEAVE EXPOSED.
D6	REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
D7	REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
D8	REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
D9	REMOVE EXISTING PARTITIONS, FLOOR COVERINGS, WALL TILE, CEILINGS, AND BUILDING SYSTEMS IN THEIR ENTIRETY.
D10	REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
D10B	REPLACE GRATE AT LIGHTWELL.
D11	REMOVE BRICK SITE WALL.
-D12	NOT USED.
-D13	NOT USED.
D14	REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
D15	REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
D16	REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
D17	PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PLASTER VAULTED CEILING.
D18	REFURBISH EXISTING RESTROOMS.

1 ROOF DEMOLITION PLAN

SCALE: 1/32" = 1'-0"



0' - 0 1/32"



McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE



10/26/22

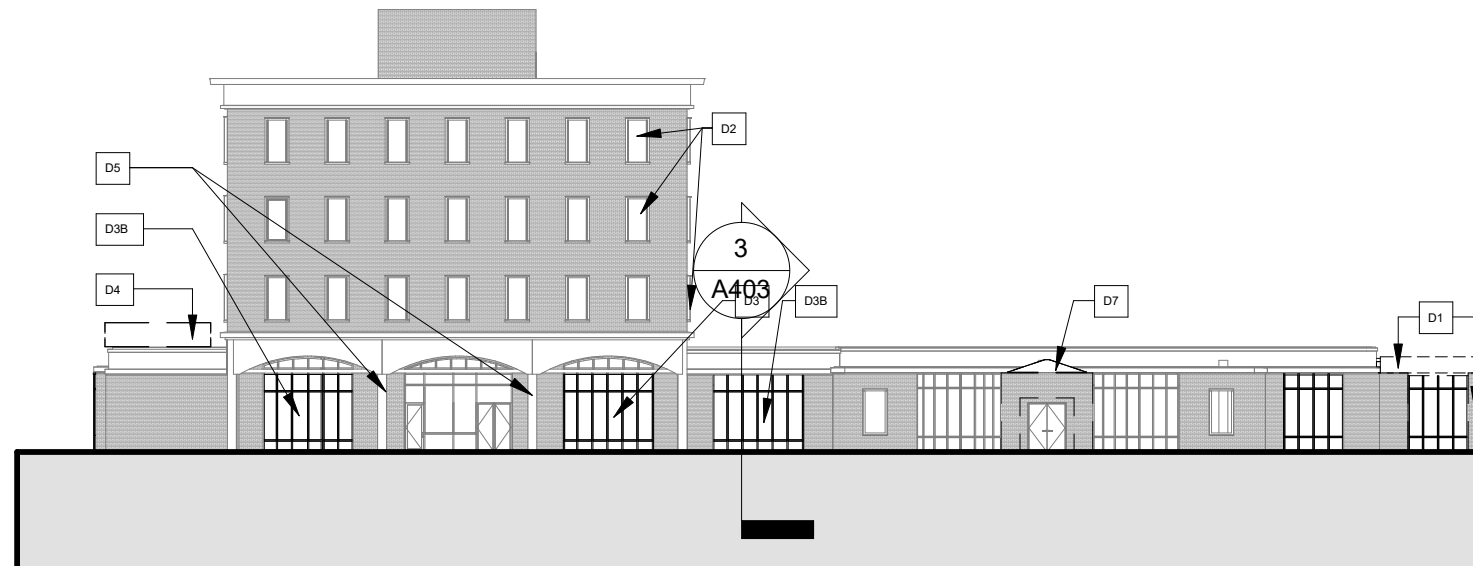
D106

### DEMOLITION KEY

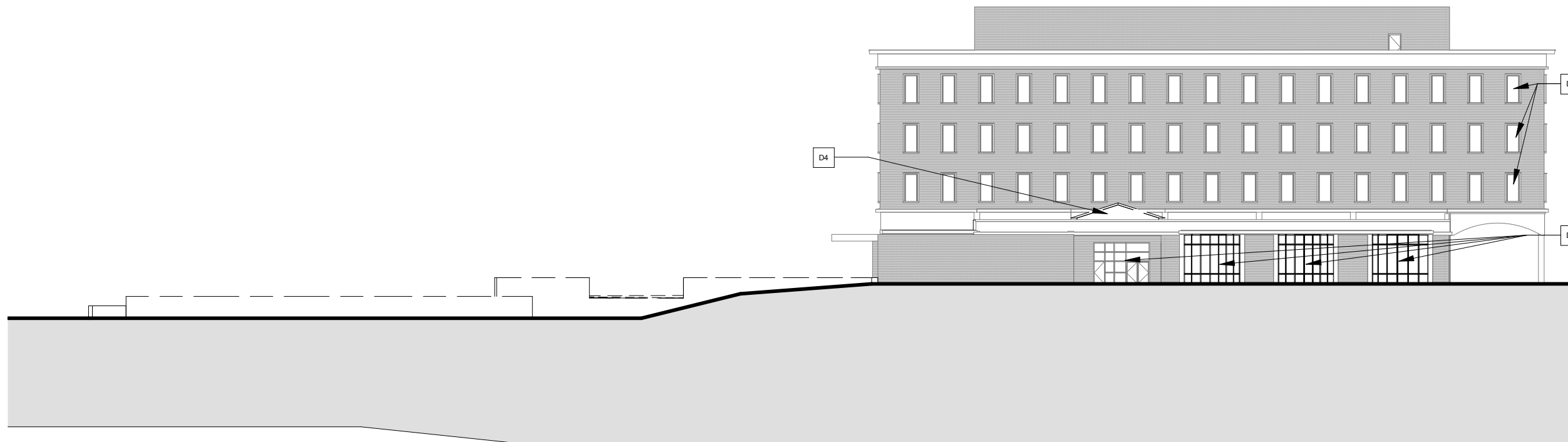
--- = ELEMENTS TO BE DEMOLISHED

█ = EXISTING TO REMAIN

- D1 REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS, SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
- D2 CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
- D3 REMOVE EXISTING ALUMINUM CURTAIN WALL GLASS AND PROTECT OPENING FOR NEW CURTAIN WALL INSTALLATION. MATCH EXISTING CONDITIONS.
- D3b REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
- D4 REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
- D5 CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS, REFURBISH AND LEAVE EXPOSED.
- D6 REMOVE AND SALVAGE PHOTOVOLTAIC PANELS.
- D7 REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
- D8 REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
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- D10 REMOVE CONCRETE PLANTER. REMOVE RAISED CONCRETE MECHANICAL AREAWAY SURROUND.
- D10b REPLACE GRATE AT LIGHTWELL.
- D11 REMOVE BRICK SITE WALL.
- D12- NOT USED.
- D13- NOT USED.
- D14 REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
- D15 REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
- D16 REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
- D17 PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PILASTER VAULTED CEILING.
- D18 REFURBISH EXISTING RESTROOMS.



2 SOUTH EXTERIOR ELEVATION DEMOLITION PLAN  
SCALE: 1/32" = 1'-0"



1 WEST EXTERIOR ELEVATION DEMOLITION PLAN  
SCALE: 1/32" = 1'-0"

0' - 0 1/32"



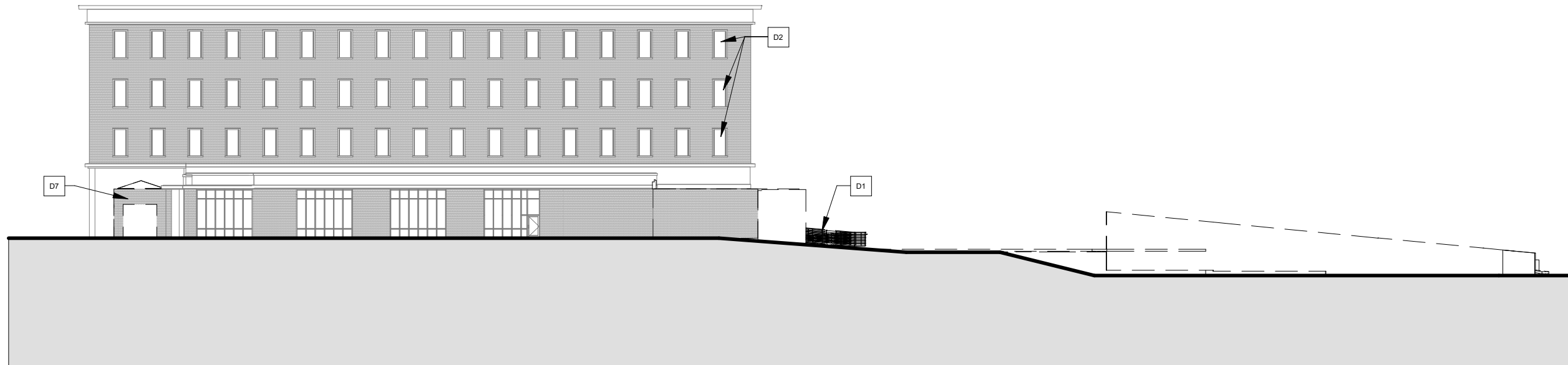
## McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE

10/26/22

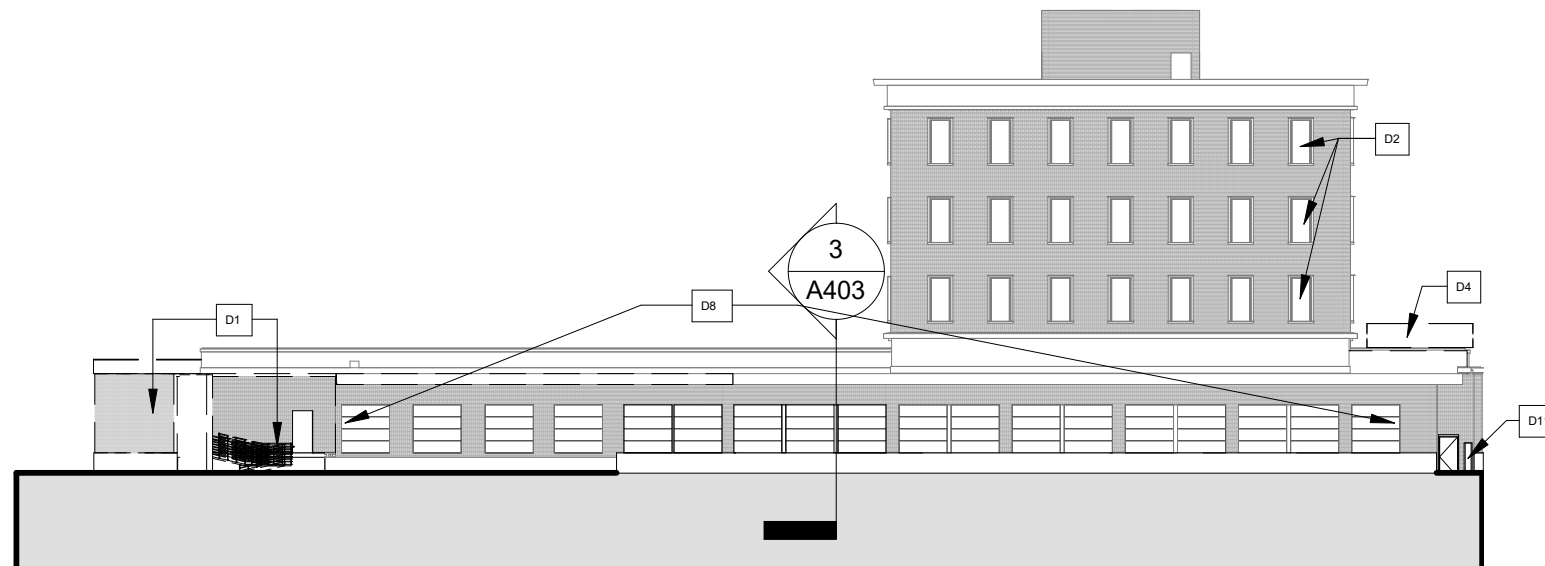
D300





2 EAST EXTERIOR ELEVATION DEMOLITION PLAN

SCALE: 1/32" = 1'-0"



1 NORTH EXTERIOR ELEVATION DEMOLITION PLAN

SCALE: 1/32" = 1'-0"

### DEMOLITION KEY

--- = ELEMENTS TO BE DEMOLISHED

█ = EXISTING TO REMAIN

- D1 REMOVE ALL CONSTRUCTED ASSEMBLIES INCLUDING STRUCTURE, BUILDING ENVELOPE, SLAB AND ALL BUILDING SYSTEMS. SUPPORT AND PROTECT ADJACENT STRUCTURES TO REMAIN.
- D2 CAREFULLY REMOVE EXISTING WINDOW FRAMES AND PROTECT OPENING FOR NEW ALUMINUM STORE FRONT WINDOW SYSTEM. REPAIR CAST STONE WINDOW FRAME AS NEEDED.
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- D3b REPLACE EXISTING STOREFRONT WITH NEW. ADD DOORS FOR EGRESS. MATCH EXISTING CONDITIONS.
- D4 REMOVE EXISTING PLASTIC SKYLIGHT AND PROTECT EXPOSED CONCRETE BEAMS.
- D5 CAREFULLY REMOVE EXISTING STAINLESS STEEL CASING AT CONCRETE COLUMNS. REFURBISH AND LEAVE EXPOSED.
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- D7 REMOVE BRICK OUTDOOR VESTIBULE INCLUDING FOUNDATIONS AND ROOF STRUCTURE.
- D8 REMOVE ALL LOADING DOCK OVERHEAD DOORS, BUMPERS, HAND RAIL AND METAL CAP. PROTECT COLUMNS, BRICK, CANOPY ROOF AND PLATFORM. REPLACE METAL PANEL AROUND OPENINGS AND PREP TO RECEIVE NEW STOREFRONT.
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- D10B REPLACE GRATE AT LIGHTWELL.
- D11 REMOVE BRICK SITE WALL.
- D12- NOT USED.
- D13- NOT USED.
- D14 REMOVE EXISTING DECK AND SUPPORTING COLUMNS BELOW.
- D15 REMOVE CATWALK AND ASSOCIATED STRUCTURAL SUPPORT.
- D16 REMOVE ROOF AND STRUCTURE AS NEEDED FOR NEW SKYLIGHT INSTALL.
- D17 PROTECT, CLEAN AND REFURBISH ORIGINAL MARBLE VENEER WALLS, TERRAZZO FLOORING AND PLASTER VAULTED CEILING.
- D18 REFURBISH EXISTING RESTROOMS.

0' - 0 1/32"

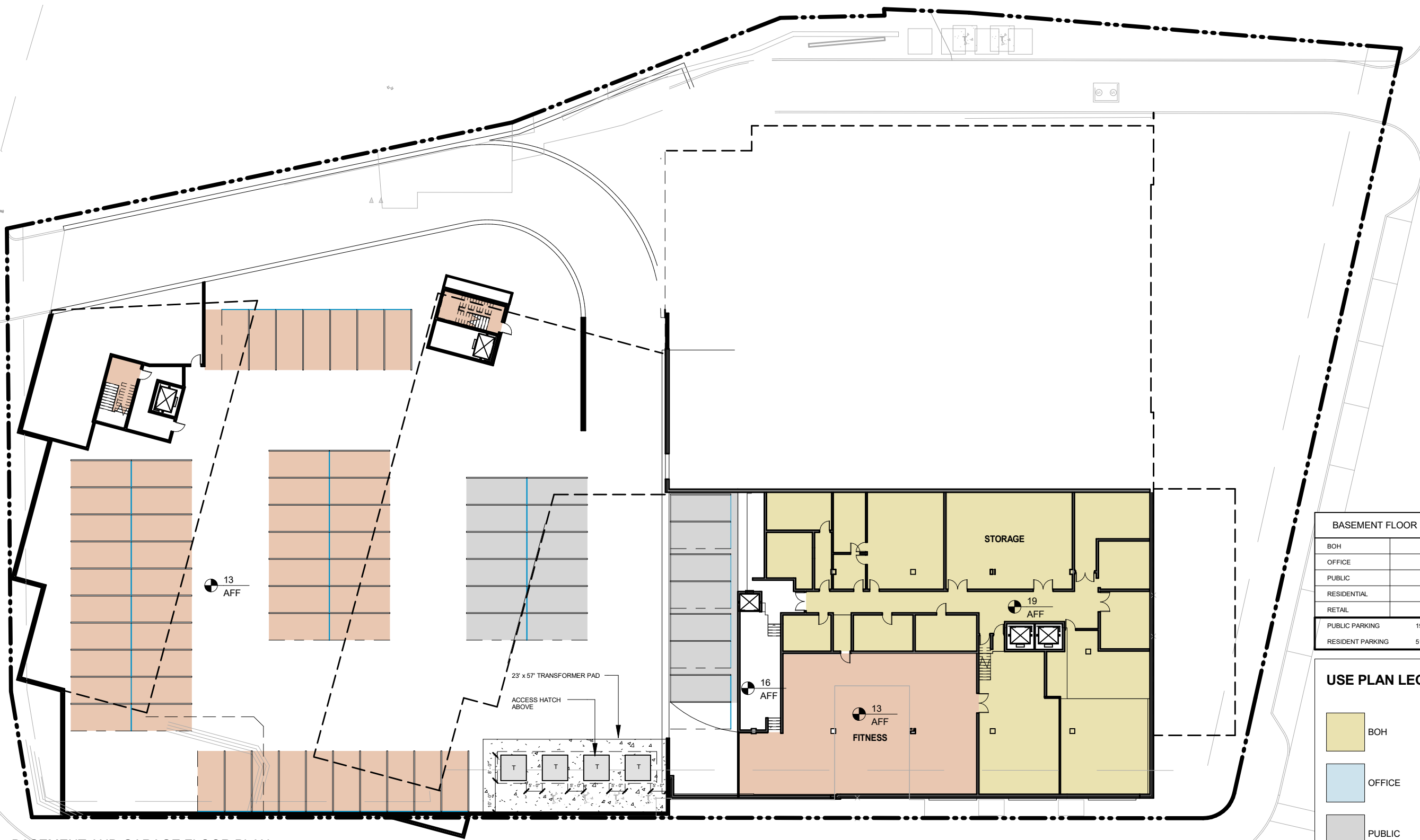


## McINTYRE FEDERAL BUILDING REDEVELOPMENT

PRINCIPLE

10/26/22

D301



BASEMENT FLOOR AREA	
BOH	8,051 SF
OFFICE	0 SF
PUBLIC	4,002 SF
RESIDENTIAL	11,174 SF
RETAIL	0 SF
PUBLIC PARKING	19 SPACES
RESIDENT PARKING	51 SPACES

USE PLAN LEGEND	
	BOH
	OFFICE
	PUBLIC
	RESIDENTIAL
	RETAIL

1 BASEMENT AND GARAGE FLOOR PLAN  
SCALE: 1/32" = 1'-0"



FIRST FLOOR AREA	
BOH	3,007 SF
OFFICE	0 SF
PUBLIC	23,295 SF
RESIDENTIAL	2,898 SF
RETAIL	30,483 SF

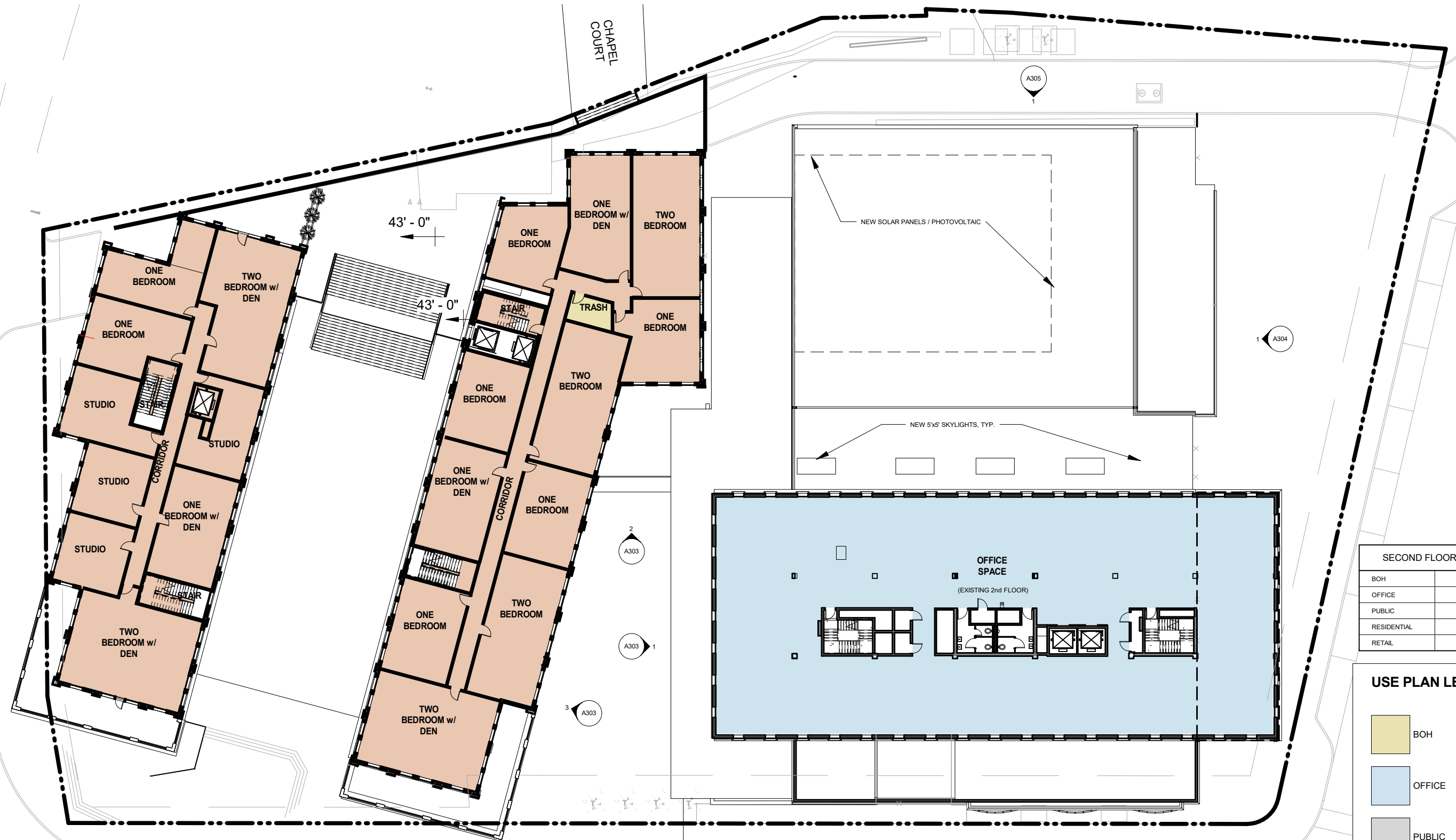
USE PLAN LEGEND	
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<span style="display:inline-block; width:15px; height:15px; background-color:grey; border:1px solid black;"></span>	PUBLIC
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span>	RESIDENTIAL
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span>	RETAIL

1 OVERALL FIRST FLOOR PLAN  
SCALE: 1/32" = 1'-0"

0' - 0 1/32"



# McINTYRE FEDERAL BUILDING REDEVELOPMENT



1 OVERALL SECOND FLOOR PLAN  
SCALE: 1/32" = 1'-0"

SECOND FLOOR AREA	
BOH	128 SF
OFFICE	11,572 SF
PUBLIC	0 SF
RESIDENTIAL	17,798 SF
RETAIL	0 SF

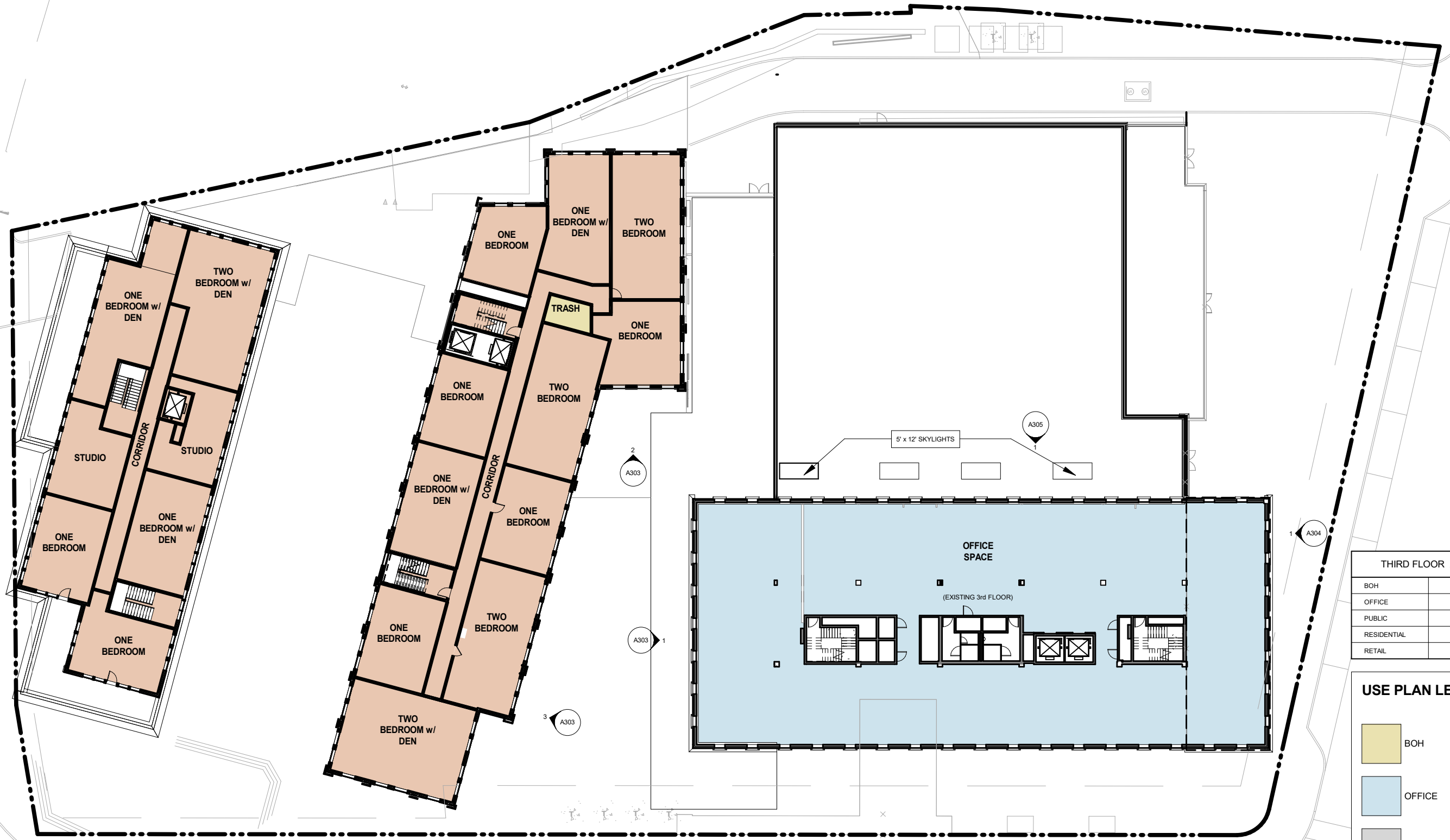
**USE PLAN LEGEND**

- BOH
- OFFICE
- PUBLIC
- RESIDENTIAL
- RETAIL

0' - 0 1/32" 1 4  
2 8



**McINTYRE FEDERAL BUILDING REDEVELOPMENT**

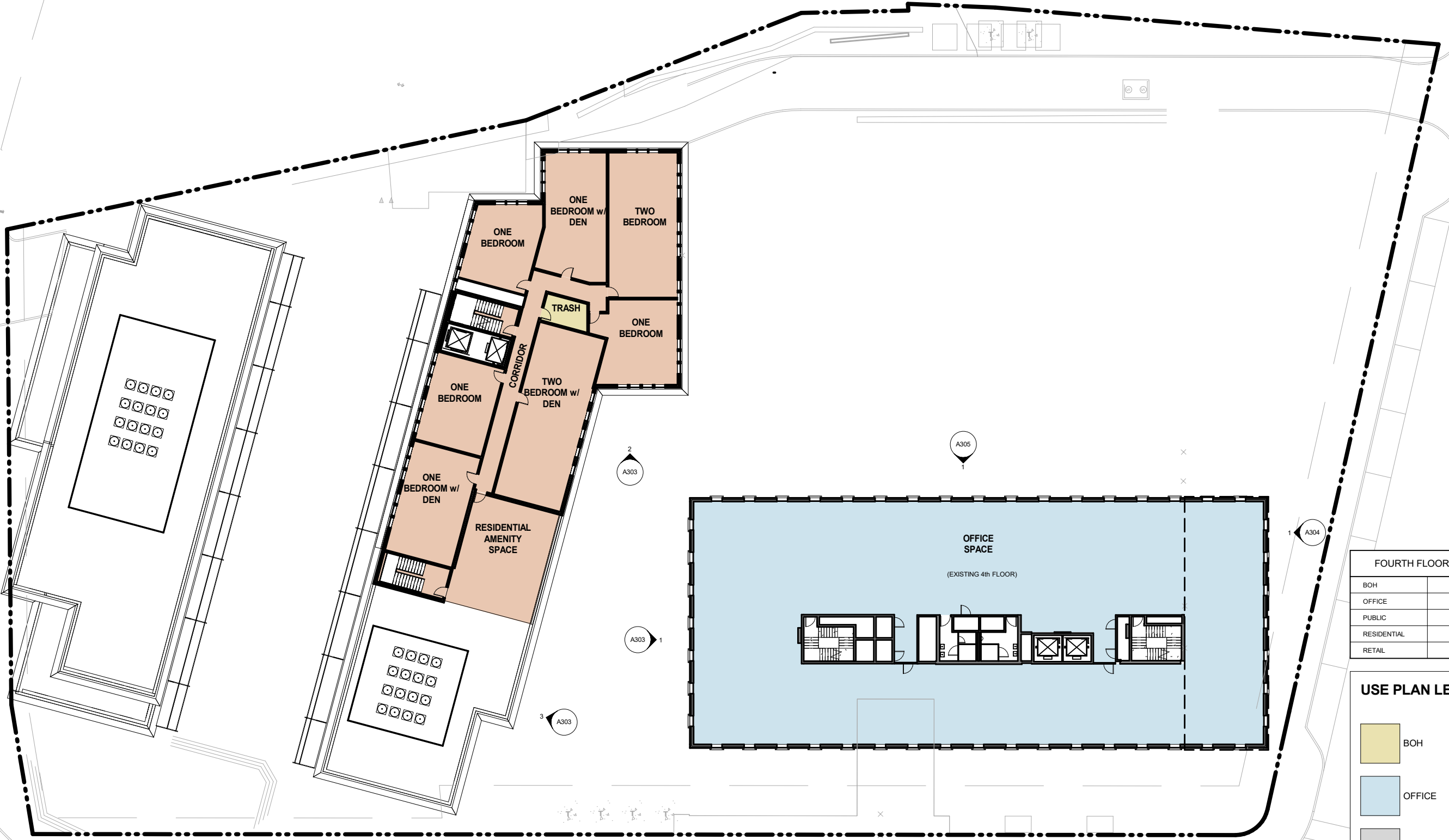


1 OVERALL THIRD FLOOR PLAN  
SCALE: 1/32" = 1'-0"

THIRD FLOOR AREA	
BOH	128 SF
OFFICE	11,572 SF
PUBLIC	0 SF
RESIDENTIAL	16,619 SF
RETAIL	0 SF

USE PLAN LEGEND	
	BOH
	OFFICE
	PUBLIC
	RESIDENTIAL
	RETAIL



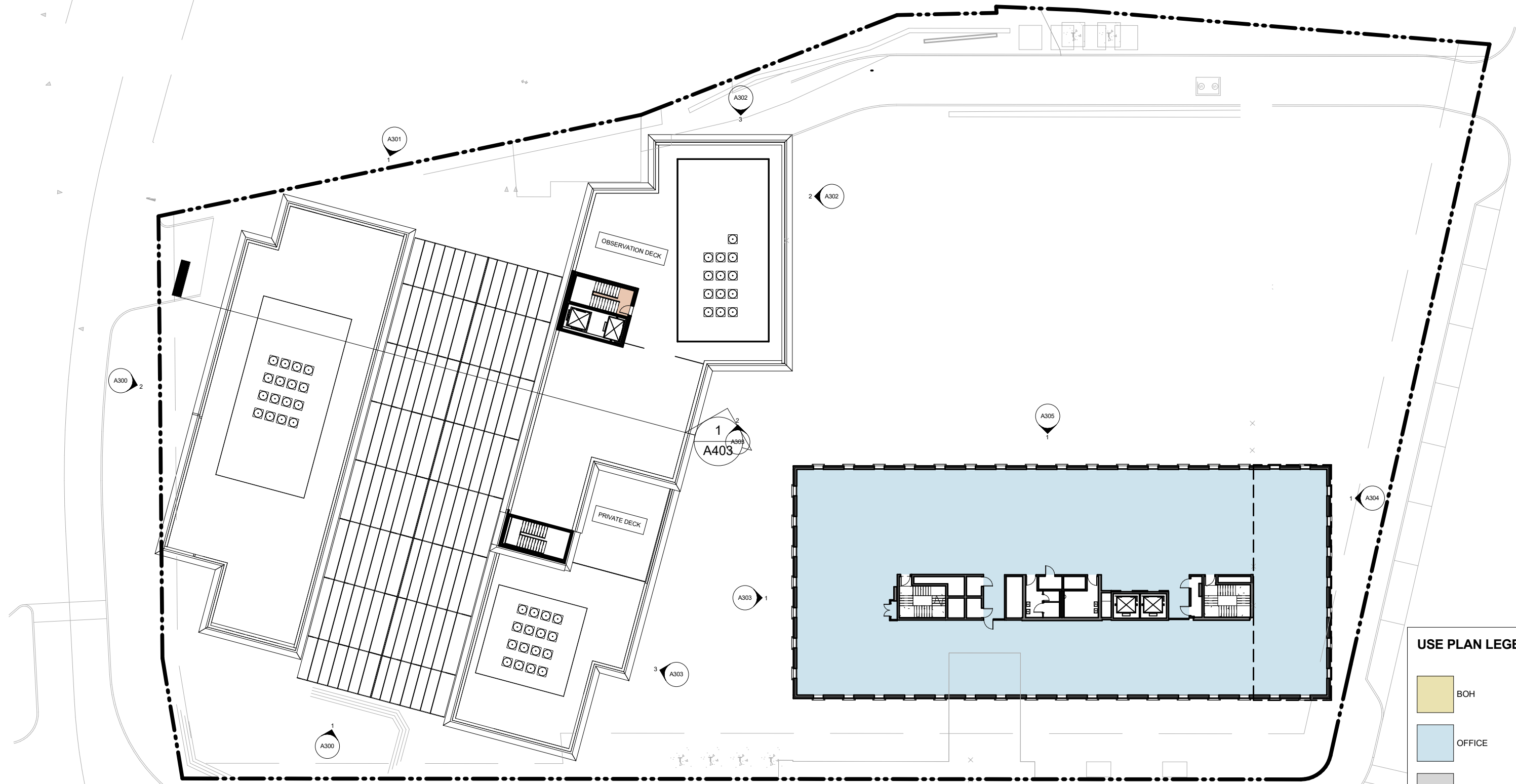


FOURTH FLOOR AREA	
BOH	128 SF
OFFICE	11,572 SF
PUBLIC	0 SF
RESIDENTIAL	7,524 SF
RETAIL	0 SF

USE PLAN LEGEND	
	BOH
	OFFICE
	PUBLIC
	RESIDENTIAL
	RETAIL

1 OVERALL PENTHOUSE FLOOR PLAN  
SCALE: 1/32" = 1'-0"





**USE PLAN LEGEND**

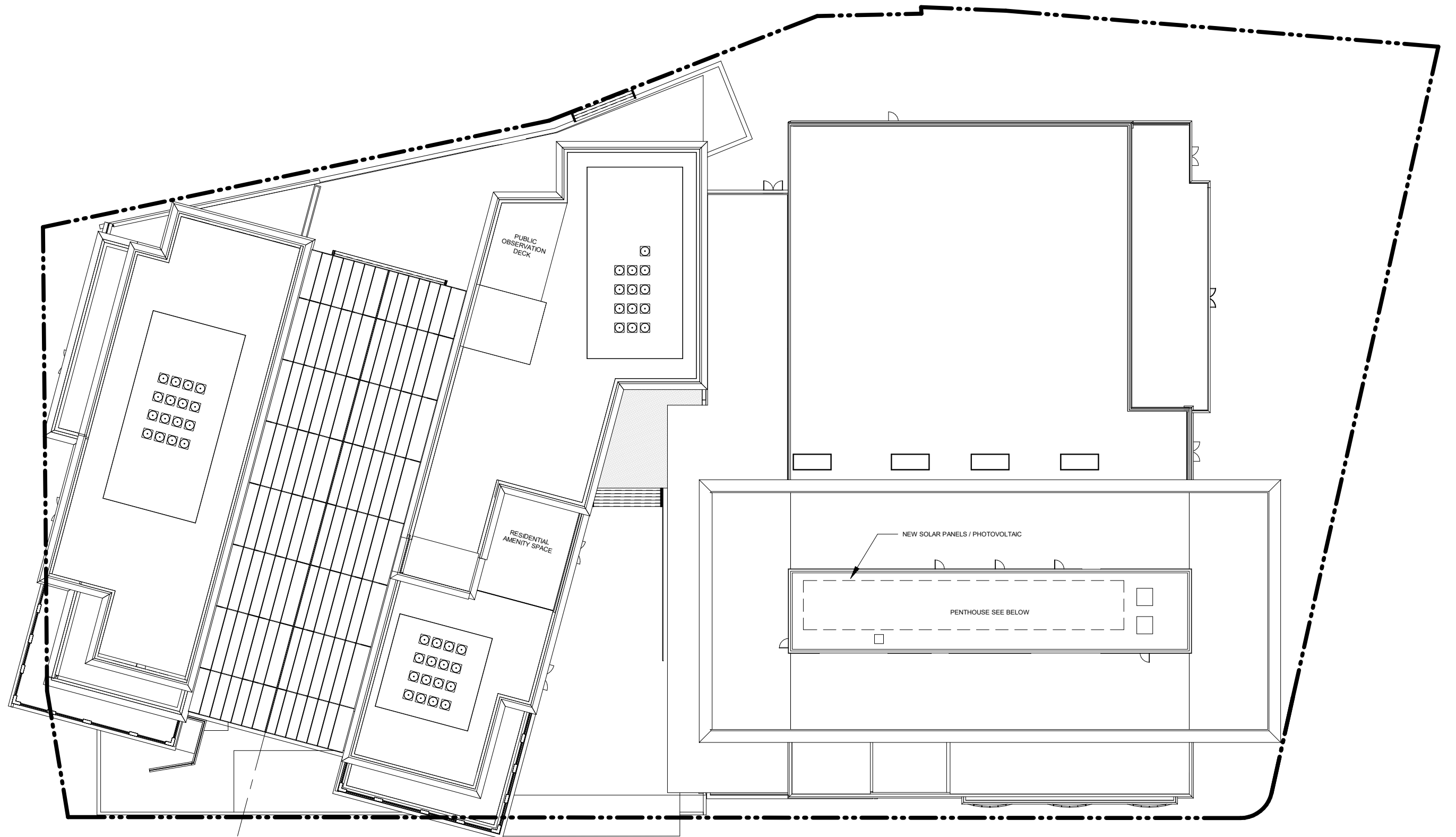
- BOH
- OFFICE
- PUBLIC
- RESIDENTIAL
- RETAIL

1 OVERALL ROOF PLAN (NEW) 4TH FLOOR MCINTYRE  
 SCALE: 1/32" = 1'-0"

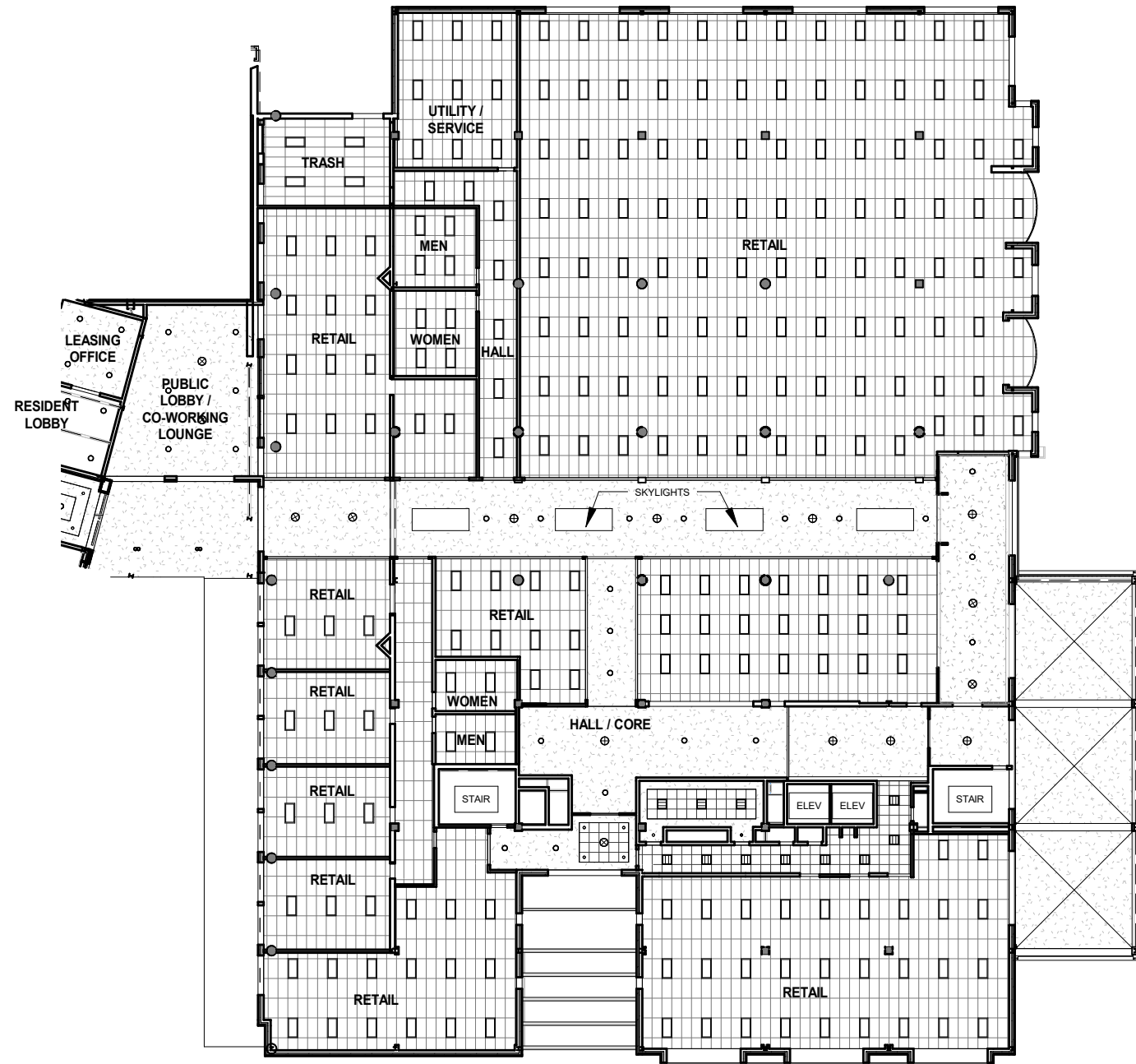
0' - 0 1/32" 1 4  
2 8



**McINTYRE FEDERAL BUILDING REDEVELOPMENT**

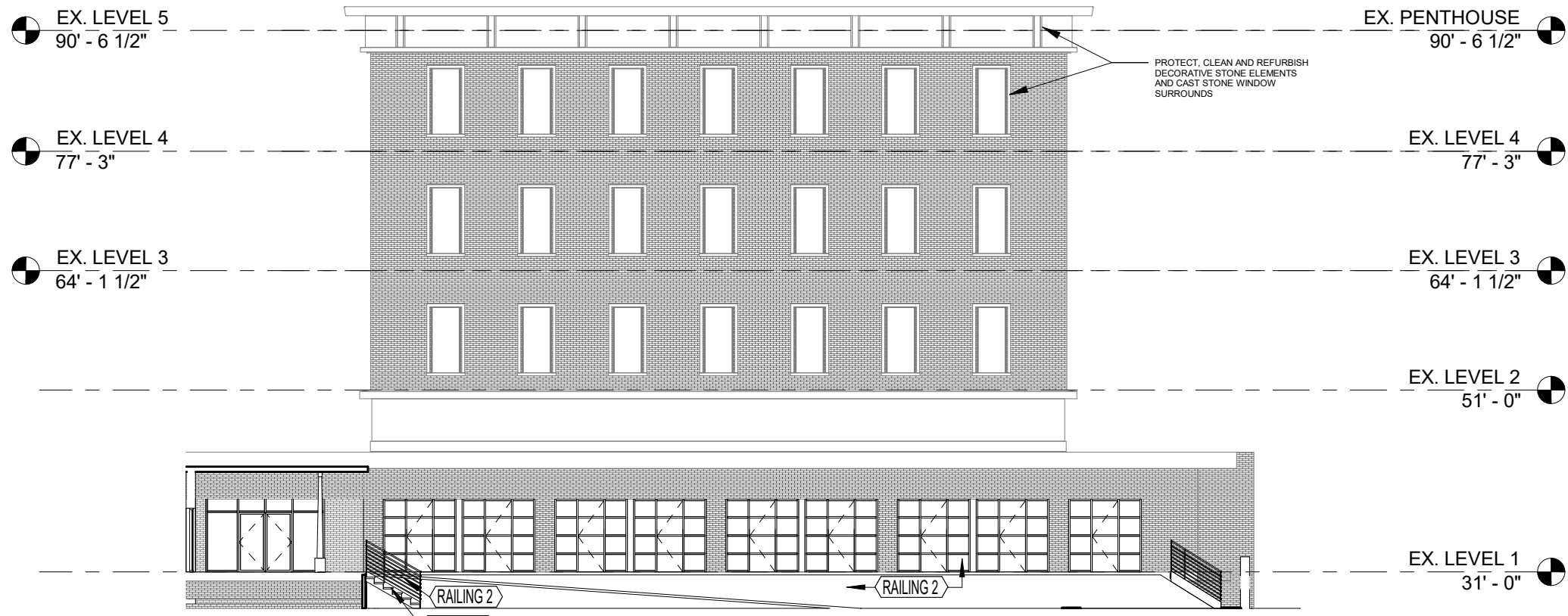


3 MCINTYRE ROOF PLAN  
 SCALE: 1/32" = 1'-0"

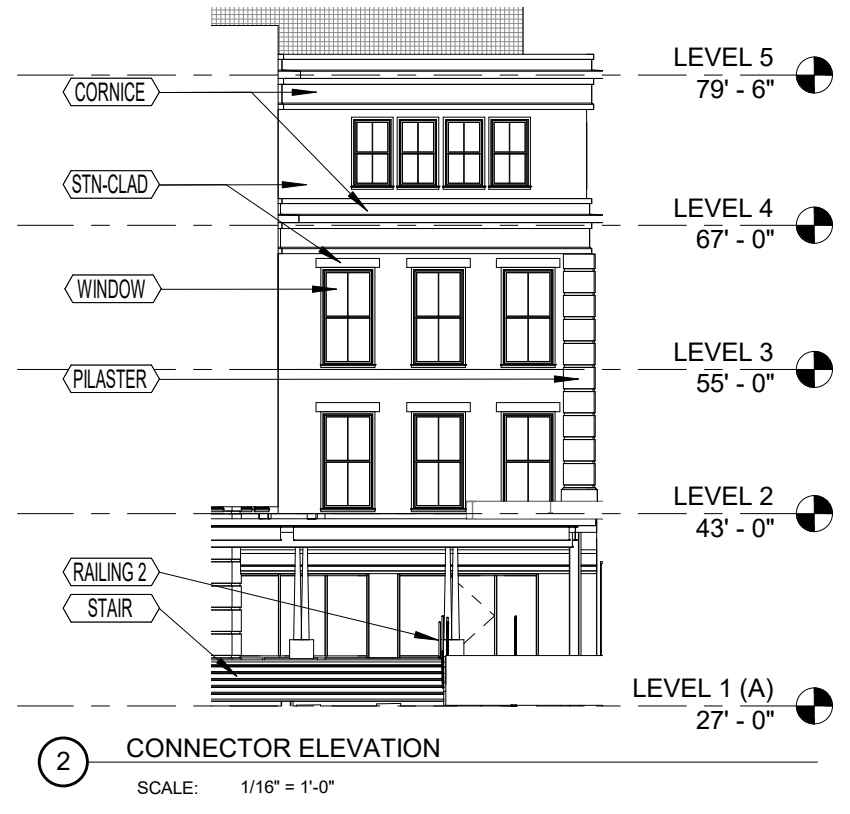


REFLECTED CEILING PLAN LEGEND	
	INTERIOR G.W.B. OR EXTERIOR GYPSUM SOFFIT BOARD CEILING OR SOFFIT, PAINTED
	2X2 CEILING TILE (REFER TO SPEC FOR TYPE)
	G.W.B. 8'-6" CEILING HEIGHT AND FINISH INDICATOR
	SURFACE MOUNTED DECORATIVE FIXTURE
	DECORATIVE PENDANT FIXTURE
	LED DOWN LIGHT- SURFACE MOUNTED
	TRACK LIGHT FIXTURE
	2X2 RECESSED INDIRECT LED FIXTURE
	2X4 RECESSED INDIRECT LED FIXTURE

1 FIRST FLOOR REFLECTED CEILING PLAN - EXISTING BUILDING  
 SCALE: 1/32" = 1'-0"



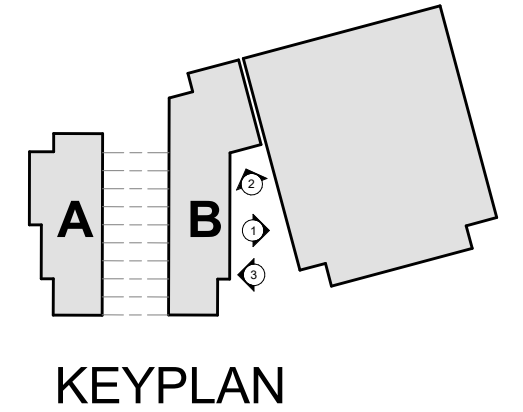
1 EXTERIOR ELEVATION - ALLEYWAY  
SCALE: 1/16" = 1'-0"



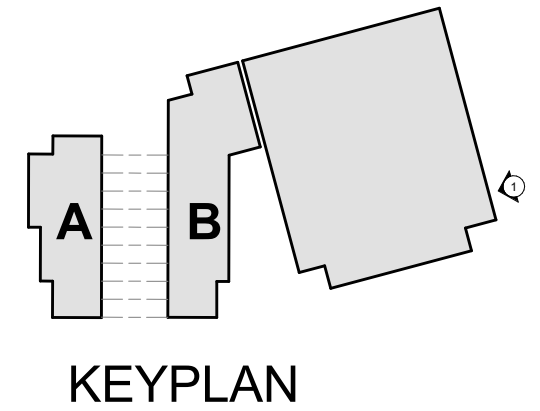
2 CONNECTOR ELEVATION  
SCALE: 1/16" = 1'-0"



3 NPS BUILDING B SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"

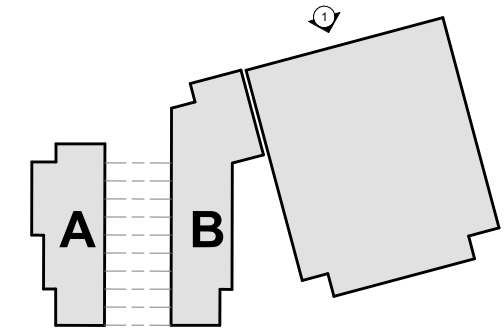


KEYPLAN



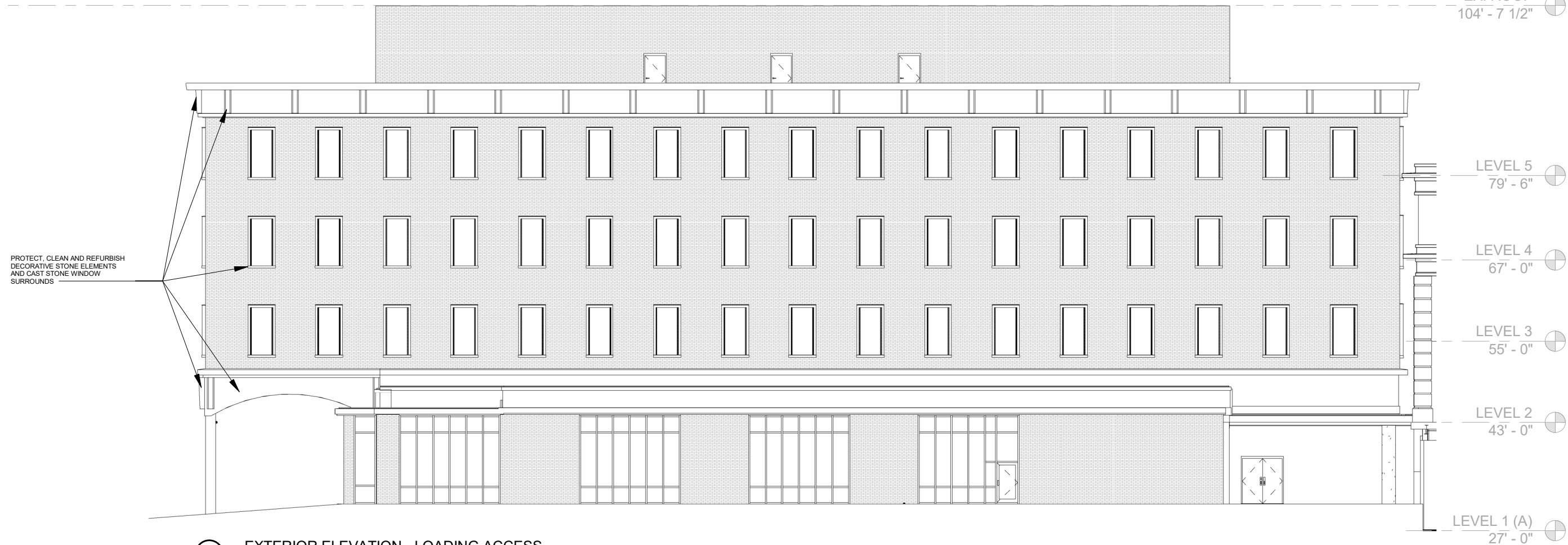
① EXTERIOR ELEVATION - DANIEL STREET  
SCALE: 1/16" = 1'-0"



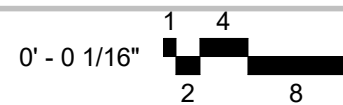


**KEYPLAN**

EX. ROOF  
104' - 7 1/2"



1 EXTERIOR ELEVATION - LOADING ACCESS  
SCALE: 1/16" = 1'-0"



**McINTYRE FEDERAL BUILDING REDEVELOPMENT**

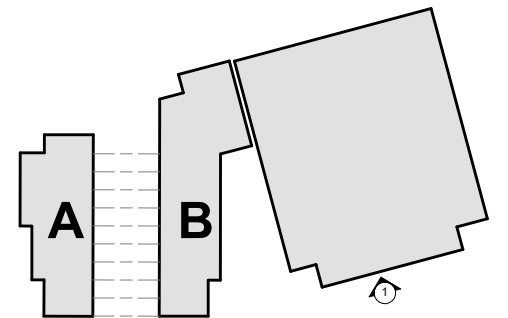
**PRINCIPLE**



10/26/22

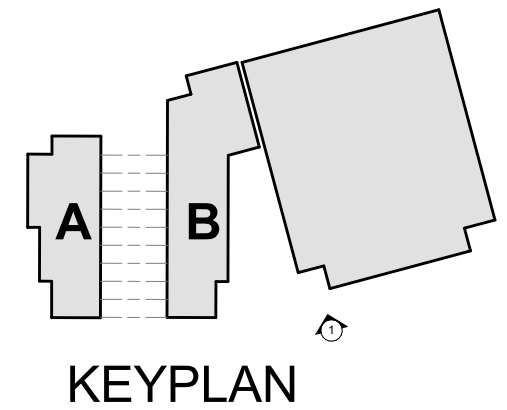
A305





KEYPLAN

1 EXTERIOR ELEVATION - PENHALLOW STREET OVERALL NPS  
SCALE: 1/16" = 1'-0"



**1 PENHALLOW STREET ELEVATION**  
 SCALE: 1/32" = 1'-0"

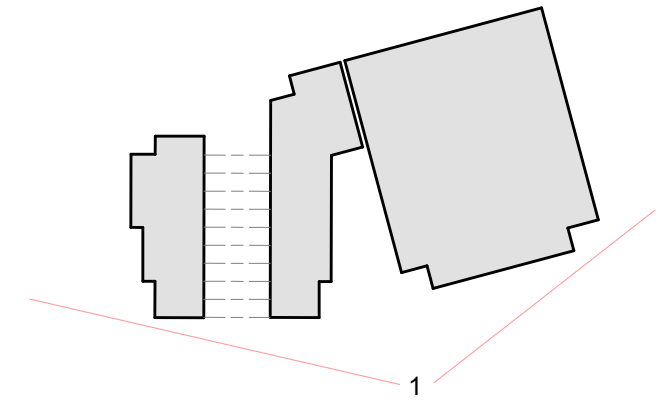
0' - 0 1/32"



**McINTYRE FEDERAL BUILDING REDEVELOPMENT**

**PRINCIPLE**

10/26/22 **A307**

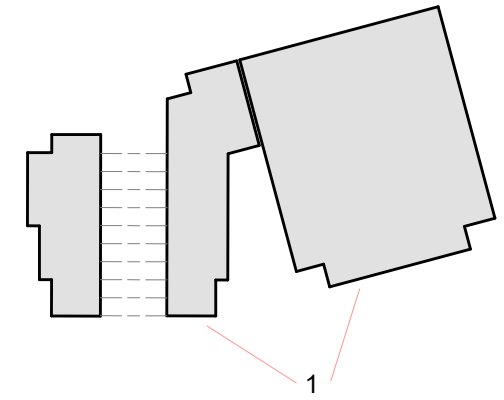


KEYPLAN

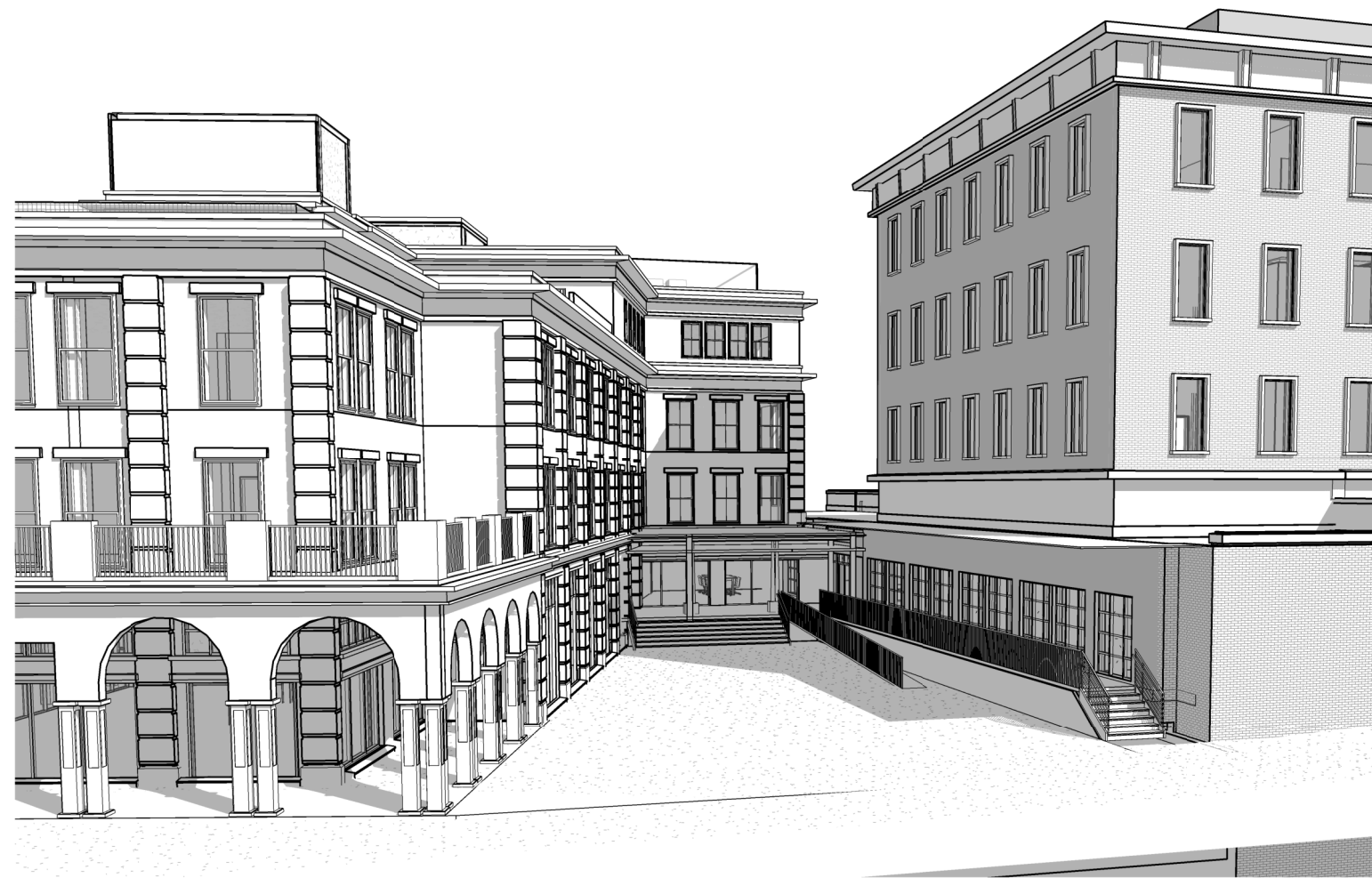


1 OVERALL EXTERIOR PERSPECTIVE  
SCALE:





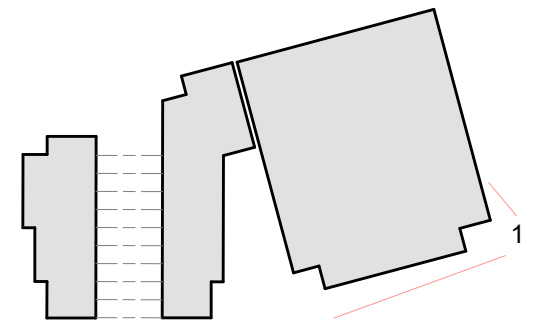
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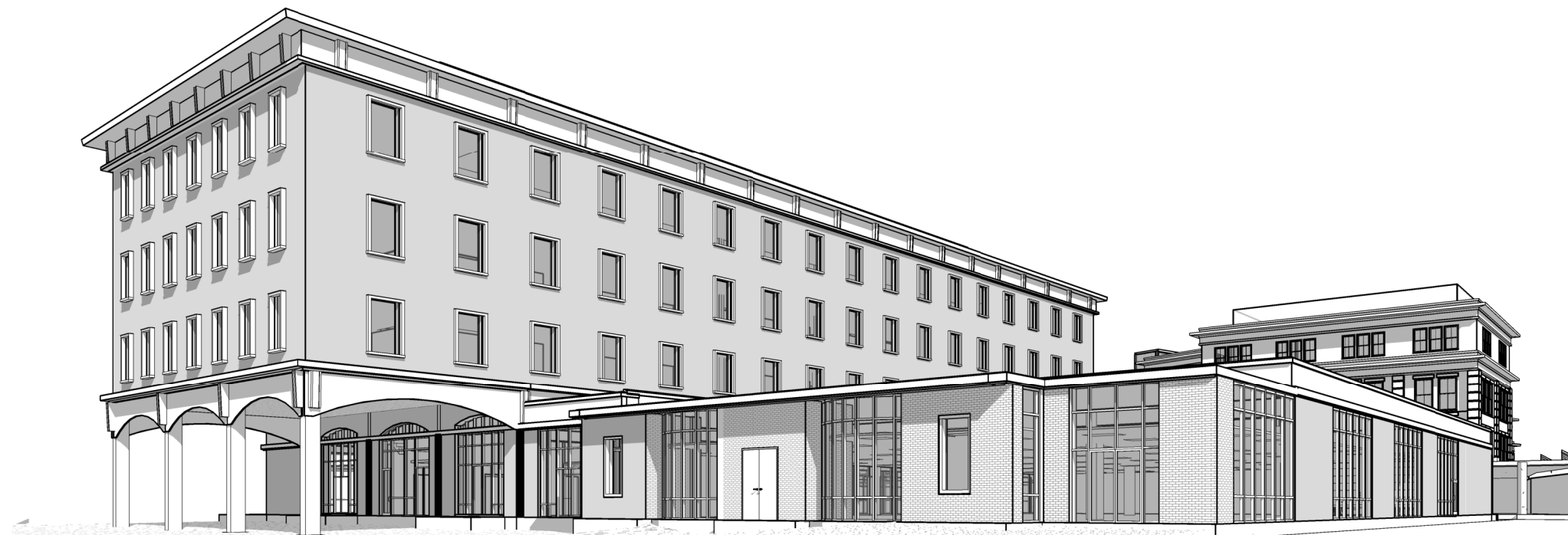
1 EXTERIOR PERSPECTIVE



1 EXTERIOR PERSPECTIVE



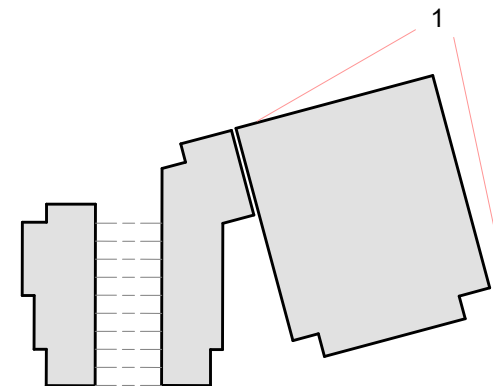
KEYPLAN



1

DANIEL ST 3D VIEW

SCALE:



KEYPLAN